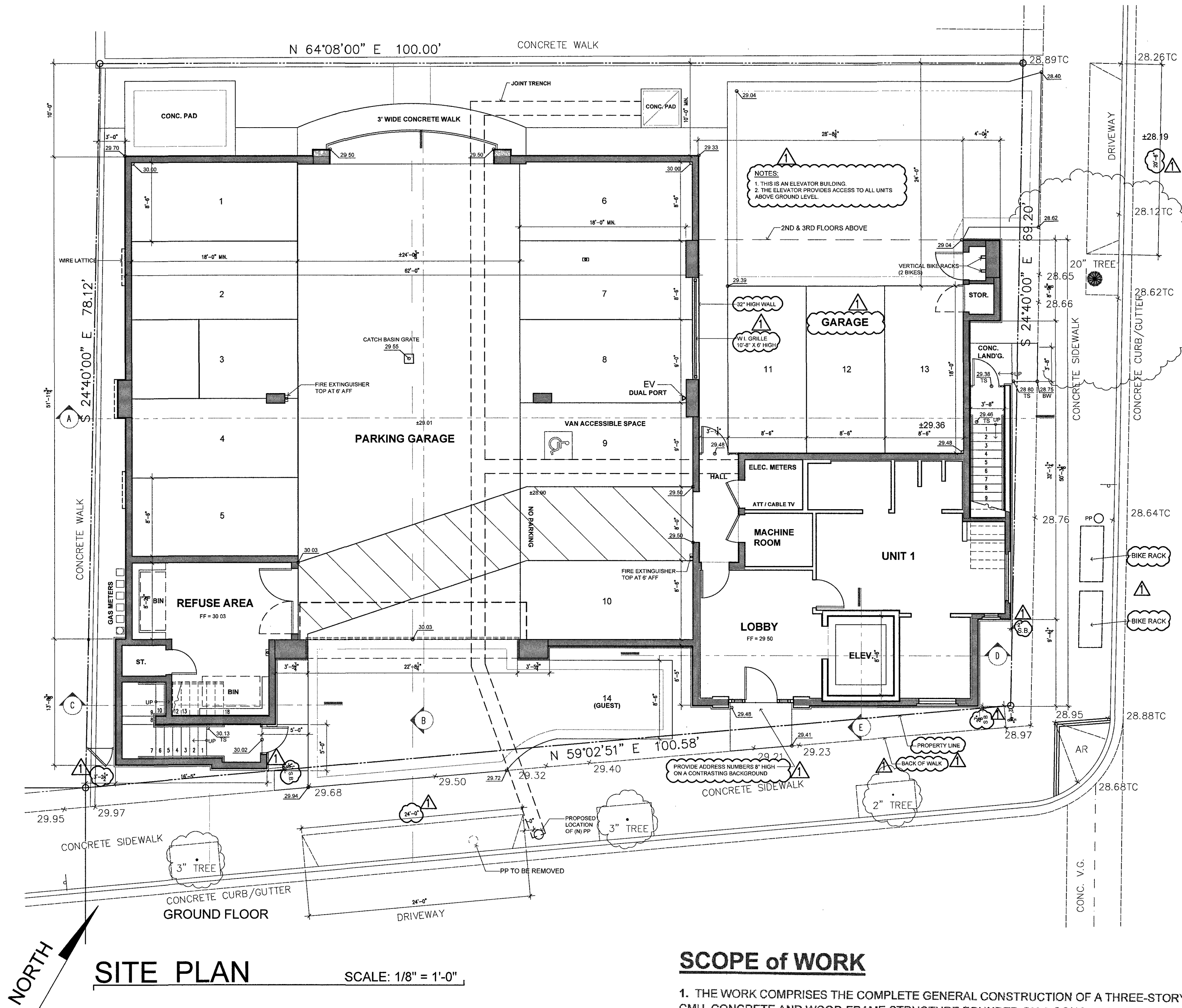


PROJECT DATA

PROJECT ADDRESS:	500 SYLVAN AVENUE SAN BRUNO, CA 94066	
APN:	020-145-480	
ZONING:	R-2	
LOT SIZE:	7,364 SF (SLOPE = < 2%)	
LOT COVERAGE:	68% (5,008 SF / 7,364 = .680)	
MAX FAR PER TCP:	2.0 (7,364 SF X 2.0 = 14,728 SF)	
PROPOSED FAR:	1.7 (12,522 SF / 7,364 = 1.70)	
FLOOR AREAS:		
RESIDENTIAL FLOOR AREA (DWELLING UNITS):	8,242 SF	
RESIDENTIAL COMMON AREAS, (LOBBY, ELEVATOR, METER ROOM, MACHINE ROOM):	332 SF	
	SUBTOTAL: 8,574 SF	
PARKING GARAGE:	3,648 SF	
REFUSE AREA, STORAGE CLOSETS:	300 SF	
	TOTAL: 12,522 SF	
AREA PER FLOOR:		
GROUND FLOOR:	4,712 SF	
2ND FLOOR:	3,935 SF	
3RD FLOOR:	3,875 SF	
	TOTAL: 12,522 SF	
PARKING:		
STANDARD:	12 CARS	
HCVAN:	1 CAR	
GUEST:	1 CAR	
	TOTAL: 14 CARS	
LANDSCAPE AREAS:		
PROPOSED WITHIN SUBJECT (PRIVATE) SITE:	723 SF	
PROPOSED WITHIN (PUBLIC) RIGHT-OF-WAY:	243 SF	
	TOTAL LANDSCAPE AREAS: 966 SF	
IMPERVIOUS AREAS:		
PROPOSED IMPERVIOUS SURFACES:	5,739 SF (78%)	
EXISTING IMPERVIOUS SURFACES:	6,607 SF (90%)	
NUMBER OF UNITS BY TYPE:		
1 BEDROOM:	2	
2 BEDROOMS:	6	
STUDIO:	1	
	TOTAL: 9 UNITS	

DESIGN TEAM

ARCHITECT:	ALAN WILLIAM COON 535 SYLVAN AVENUE SAN BRUNO, CA 94066 PH: (650) 219-7717 a.tycoon@yahoo.com
CIVIL ENGINEER:	KISTER, SAVIO & REI 826 SAN PABLO AVENUE PINOLE, CA 94564 PH: (510) 222-4020 info@ksrinc.net
STRUCTURAL ENGINEER:	SANTOS & URRUTIA 2461 HARRISON STREET SAN FRANCISCO, CA 94110 PH: (650) 343-8310 aurrutia@santosurrutia.com
MEP ENGINEERS:	ACIES ENGINEERING 3371 OLCOTT STREET SANTA CLARA, CA 95054 PH: (408) 522-5255 info@acies.net
ACOUSTICS CONSULTANT:	W. DAVID SEIDEL, AIA 1516 LOMBARD STREET, SUITE 5 SAN FRANCISCO, CA 94123 PH: (415) 931-3470 David@WDavidSeidel.com
LANDSCAPE ARCHITECT:	REED ASSOCIATES 477 SO. TAAFFE STREET SUNNYVALE, CA 94086 PH: (408) 481-9020 paul@raia.net
SURVEYOR:	DAINS LAND SURVEYING PH: (650) 743-0831 rdains@dainslandsurveying.net



PROJECT DESCRIPTION

THE PROJECT IS PRIVATELY FUNDED AND INVOLVES A LOW-INCOME HOUSING PROGRAM. AS SUCH, PER CBC 11B, THE PROJECT REQUIRES ONE (1) ACCESSIBLE UNIT, (UNIT #5), NEEDED TO COMPLY. ALL OTHER UNITS ARE ADAPTABLE UNITS. THE PROJECT COMPRISES CONSTRUCTION OF A NINE (9) UNIT RESIDENTIAL APARTMENT BUILDING. THE BUILDING IS A THREE-STORY STRUCTURE HAVING TWO FLOORS BUILT OVER AN ENTRY LOBBY AND GROUND-LEVEL PARKING GARAGE. TWO STAIRWAYS AND A THREE-STAGE ELEVATOR PROVIDE ACCESS TO ALL FLOORS. THIS BUILDING IS AN ELEVATOR BUILDING THAT GIVES ACCESSIBILITY TO ALL DWELLING UNITS.

THE APARTMENT BUILDING INCLUDES SIX (6) TWO-BEDROOM UNITS, TWO (2) ONE-BEDROOM UNITS AND ONE (1) GROUND-FLOOR STUDIO APARTMENT. THERE ARE PRIVATE, SCREENED, SOUTH-FACING PATIOS AT THE SECOND AND THIRD FLOORS THAT PROVIDE OUTDOOR OPEN SPACE TO ALL UNITS.

THE GROUND-LEVEL PARKING GARAGE HOUSES 13 PARKING SPACES INCLUDING ONE (1) VAN-ACCESSIBLE PARKING SPACE. THERE IS ONE (1) OUTDOOR GUEST-PARKING SPACE. THE SITE'S REAR YARD AREA HAS 650 SQUARE FEET OF COMMON-AREA OPEN SPACE INCLUDING A LOCKABLE, FENCED, PARKING ENCLOSURE FOR THREE (3) BICYCLES.

GREEN BUILDING COMPONENTS INCLUDE THESE: DURABLE AND LOW MAINTENANCE EXTERIORS COMPRISED OF STUCCO AND STONE AND CONCRETE, HIGH-EFFICIENCY LIGHTING AND HEATING SYSTEMS, ECS PREP, ENERGY-STAR APPLIANCES, SOLAR ENERGY PREP, AND 40-YEAR RATED, CLASS-A, ASPHALT-SHINGLE ROOFING.

OTHER FEATURES INCLUDE A BIKE LOCKER FOR TWO (2) BIKES, WASHER AND DRYER HOOKUPS IN ALL UNITS, ENGINEERED LIGHTING AND SOUND CONTROL, TANKLESS HOT-WATER HOOKUPS TO EACH UNIT, ENGINEERED HEATING AND VENTILATION THROUGHOUT, AND A MEDICAL-EMERGENCY SIZED, RESIDENTIAL ELEVATOR.

SCOPE OF WORK

1. THE WORK COMPRISES THE COMPLETE GENERAL CONSTRUCTION OF A THREE-STORY CMU, CONCRETE AND WOOD-FRAME STRUCTURE FOUNDED ON A CONCRETE-MAT FOUNDATION.
2. THE CONTRACT IS FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND SUPERVISION NECESSARY TO CONSTRUCT THE BUILDING SHOWN ON PLANS. AND PROVIDE DEBRIS REMOVAL AS NECESSARY FOR THE WORK.
3. THE WORK INCLUDES GENERAL CONSTRUCTION, DEMOLITION OF AN EXISTING BUILDING ON SITE, SITE WORK, (INCLUDING UTILITY CONNECTIONS), MECHANICAL, PLUMBING, AND ELECTRICAL WORK AND ALL OTHER WORK REQUIRED TO COMPLETE THE PROJECT AND OBTAIN A CERTIFICATE OF OCCUPANCY.

GRADING & SITE DRAINAGE: (SEE CIVIL DRAWINGS SHEET C1.0)

APPLICABLE CODES

ALL WORK SHALL CONFORM TO THE 2016 EDITIONS OF THE CALIFORNIA BUILDING CODE, (CBC), THE CA PLUMBING CODE, (CPC), THE CA ELECTRIC CODE, (CEC), THE CA MECHANICAL CODE, (CMC), CA TITLE-24 BUILDING ENERGY CODE, THE CA GREEN BUILDING STANDARDS CODE, AND ALL OTHER CODES, ORDINANCES AND REGULATIONS AS ADOPTED BY GOVERNMENT AGENCIES HAVING JURISDICTION OVER THE WORK.

OCCUPANCY GROUPS: R 2 (RESIDENTIAL), S 2 (PARKING GARAGE)

CONSTRUCTION TYPE: V-A

DEFERRED SUBMITTALS

FIRE SPRINKLERS: C-16 CONTRACTOR SHALL PREPARE SPRINKLER DIAGRAM(S) DEPICTING ALL FIRE-SPRINKLER WORK AND SHALL APPLY FOR INSTALLATION UNDER A SEPARATE PERMIT. DESIGN SCOPE: NFPA13 (GARAGE), AND NFPA13R (ALL OTHER).

- A) UNDERGROUND FIRE-LINE WORK (CFC 507.2.1)
- B) CLASS III STANDPIPE SYSTEM, (CFC 905.3.1 AS AMENDED BY CITY OF SAN BRUNO)
- C) FIRE ALARM SYSTEM, (CFC 907.2.9)

DEMOLITION: DEMOLITION CONTRACTOR SHALL PREPARE DEMOLITION PLANS TO MEET CITY OF SAN BRUNO REQUIREMENTS AND SHALL APPLY FOR DEMOLITION WORK UNDER A SEPARATE PERMIT.

ELEVATOR: OTIS ELEVATOR COMPANY WILL INSTALL THE ELEVATOR EQUIPMENT UNDER A SEPARATE PERMIT.

DRAWING INDEX

ARCHITECTURAL

- A1.0 TITLE SHEET, SITE PLAN, PROJECT DATA
- A1.1 GENERAL NOTES, FINISHES
- A2 LAND SURVEY, SITE PLAN, (EXISTING)
- A3 GROUND FLOOR PLAN
- A4 2ND FLOOR PLAN
- A5 3RD FLOOR PLAN
- A6 ROOF PLAN
- A7 DOOR & WINDOW SCHEDULE
- A8 BUILDING SECTIONS A, B & C
- A9 BUILDING SECTIONS, D & E
- A10 EXTERIOR ELEVATIONS, (SOUTH & EAST)
- A11 EXTERIOR ELEVATIONS, (NORTH & WEST)
- A12 WALL TYPES & DETAILS
- A13 DETAILS
- A14 ADA DETAILS & NOTES

CIVIL ENGINEERING

- C1.0 GRADING & DRAINAGE PLAN
- C1.1 UTILITY PLAN
- C1.2 EROSION CONTROL PLAN
- C1.3 POLLUTION PREVENTION PLAN
- C1.4 PROJECT NOTES & DETAILS

STRUCTURAL

- S1.0 TITLE SHEET
- S1.1A TYPICAL WOOD DETAILS
- S1.1B TYPICAL WOOD DETAILS
- S1.2A TYPICAL CONCRETE DETAILS
- S1.6 TYPICAL CMU DETAILS & NOTES
- S2 GROUND FLOOR FOUNDATION PLAN
- S3 SECOND FLOOR FRAMING PLAN
- S3.1 SECOND FLOOR LOAD PLAN
- S4 THIRD FLOOR FRAMING PLAN
- S5 ROOF FRAMING PLAN
- S6 FOUNDATION & STRUCTURAL DETAILS
- S7 FOUNDATION & STRUCTURAL DETAILS
- S8 FOUNDATION & STRUCTURAL DETAILS
- S9 FOUNDATION & STRUCTURAL DETAILS
- S10 FOUNDATION & STRUCTURAL DETAILS
- S11 FOUNDATION & STRUCTURAL DETAILS
- S12 FOUNDATION & STRUCTURAL DETAILS
- S13 FOUNDATION & STRUCTURAL DETAILS
- S14 FOUNDATION & STRUCTURAL DETAILS
- S15 STRUCTURAL DETAILS
- S16 STRUCTURAL DETAILS
- S17 STRUCTURAL DETAILS
- SMF1 SIMPSON MOMENT FRAME DETAILS
- SMF2 SIMPSON MOMENT FRAME DETAILS
- SMF3 SIMPSON MOMENT FRAME DETAILS
- SMF4 SIMPSON MOMENT FRAME DETAILS

MECHANICAL

- M0.1 LEGEND, NOTES & EQUIPMENT
- M0.2 EQUIPMENT SCHEDULES
- M0.3 SPECIFICATIONS
- M0.4 T-24 FORMS
- M0.5 T-24 FORMS
- M0.6 T-24 FORMS
- M0.7 T-24 FORMS
- M0.8 T-24 FORMS
- M2.1 GROUND FLOOR MECHANICAL PLAN
- M2.2 SECOND FLOOR MECHANICAL PLAN
- M2.3 THIRD FLOOR MECHANICAL PLAN
- M2.4 ROOF MECHANICAL PLAN
- M6.1 DETAILS
- M6.2 DETAILS

ELECTRICAL

- E0.1 LEGEND, NOTES & SCHEDULES
- E0.2A SPECIFICATIONS
- E0.2B SINGLE LINE DIAGRAMS & LOAD CALCS
- E0.3 PANEL SCHEDULES
- E0.4A INDOOR LIGHTING, T-24 (CONDITIONED)
- E0.4B INDOOR LIGHTING, T-24 (CONDITIONED)
- E0.4C INDOOR LIGHTING, T-24 (CONDITIONED)
- E0.5A INDOOR LIGHTING, T-24 (UNCONDITIONED)
- E0.5B INDOOR LIGHTING, T-24 (UNCONDITIONED)
- E0.5C INDOOR LIGHTING, T-24 (UNCONDITIONED)
- E0.6A OUTDOOR LIGHTING, T-24 (UNCONDITIONED)
- E0.6B OUTDOOR LIGHTING, T-24 (UNCONDITIONED)
- E0.6C OUTDOOR LIGHTING, T-24 (UNCONDITIONED)
- E2.1 GROUND FLOOR PLAN - POWER & MISC.
- E2.2 SECOND FLOOR PLAN - POWER & MISC.
- E2.3 THIRD FLOOR PLAN - POWER & MISC.

PLUMBING

- P0.1 LEGEND, NOTES, SCHEDULES & CALCS
- P0.2 CALCULATIONS & SPECIFICATIONS
- P2.1 GROUND FLOOR, SANITARY-SEWER & VENTS
- P2.2 SECOND FLOOR, SANITARY-SEWER & VENTS
- P2.3 THIRD FLOOR, SANITARY-SEWER & VENTS
- P3.1 GROUND FLOOR, DOMESTIC WATER & GAS
- P3.2 SECOND FLOOR, DOMESTIC WATER & GAS
- P3.3 THIRD FLOOR, DOMESTIC WATER & GAS
- P4.1 ROOF PLUMBING
- P5.1 RISER DIAGRAMS - I
- P5.2 RISER DIAGRAMS - II
- P6.1 PLUMBING DETAILS - I
- P6.2 PLUMBING DETAILS - II
- P6.3 PLUMBING DETAILS - III

LANDSCAPE

- L1.0 LANDSCAPE PLANTING PLAN
- L1.1 TREE REMOVAL PLAN
- L2.0 LANDSCAPE HYDROZONE PLAN
- L2.1 LANDSCAPE IRRIGATION PLAN

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Architect

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Project:

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Revisions:

1 Plan Check Response
05-19-2020

Title Sheet

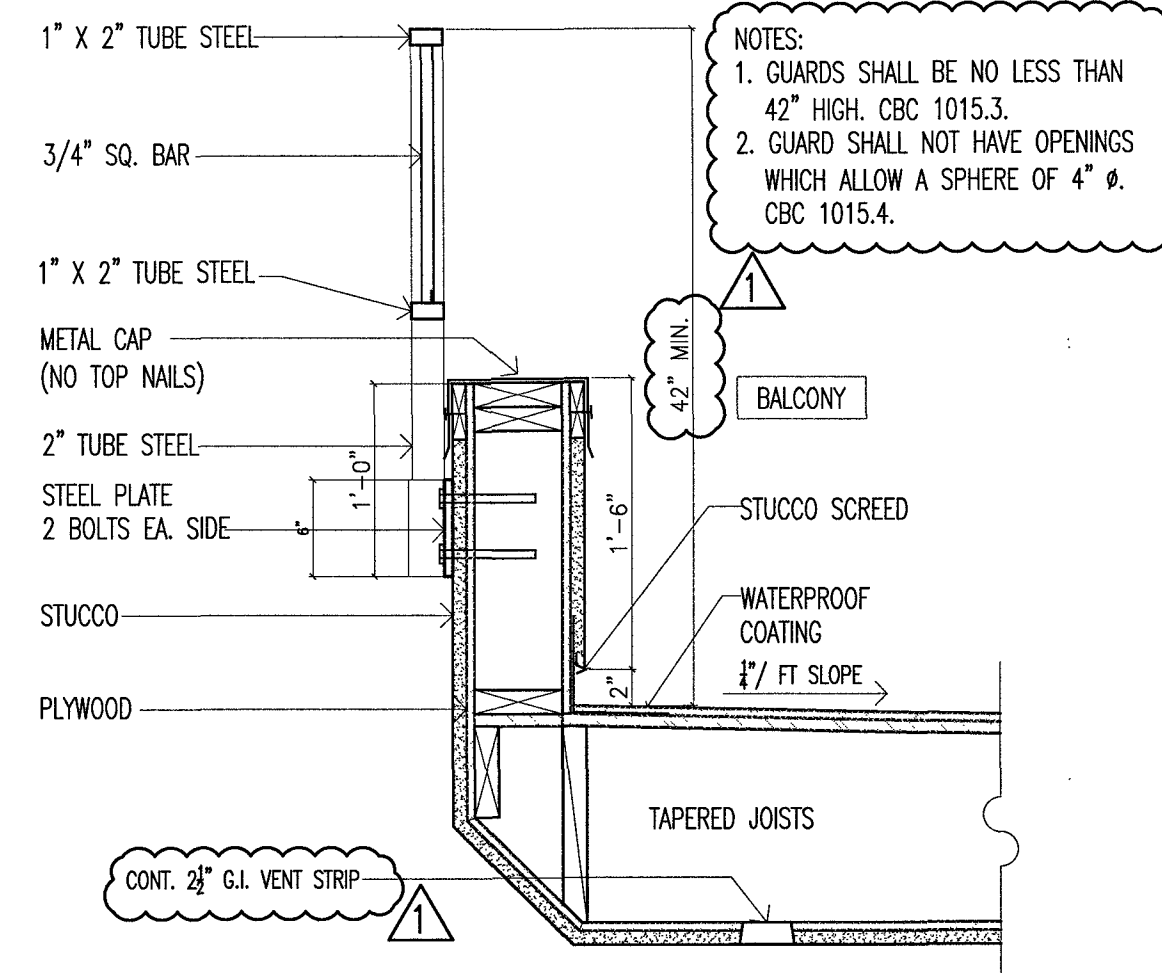
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Date: 05-19-2020

Scale: As Shown

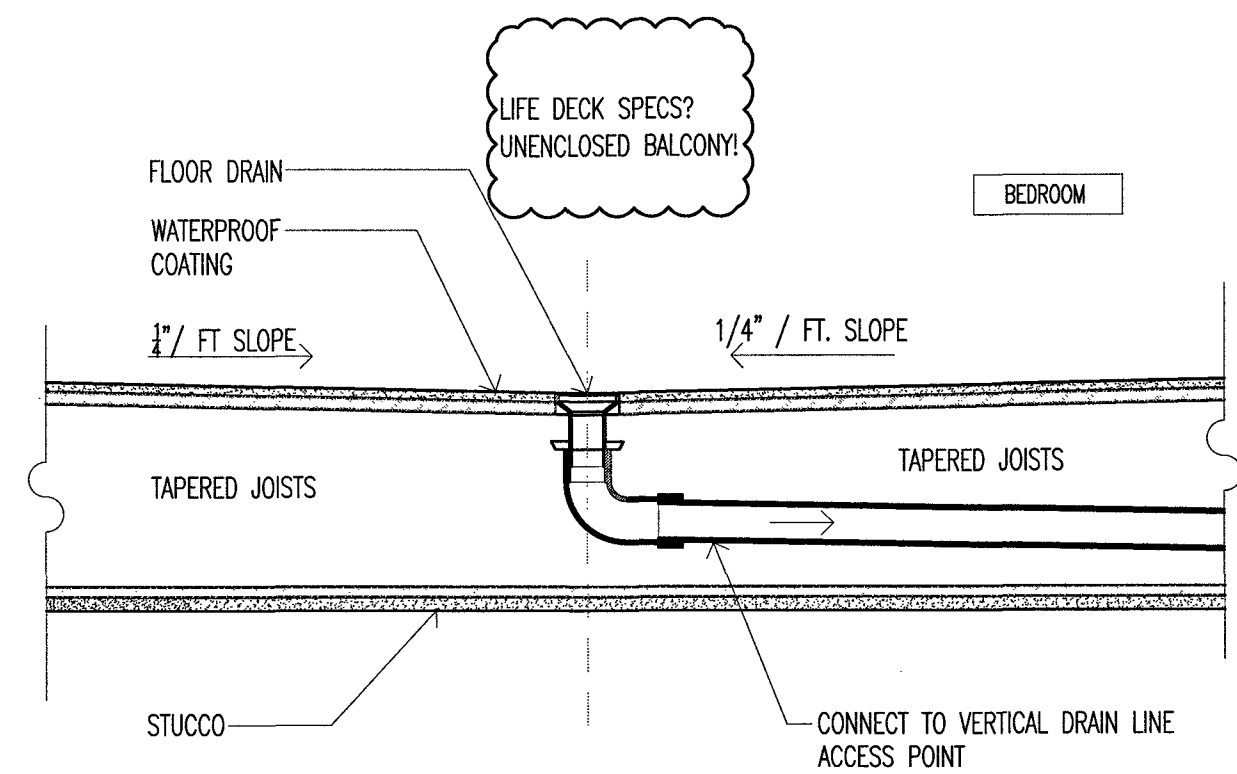
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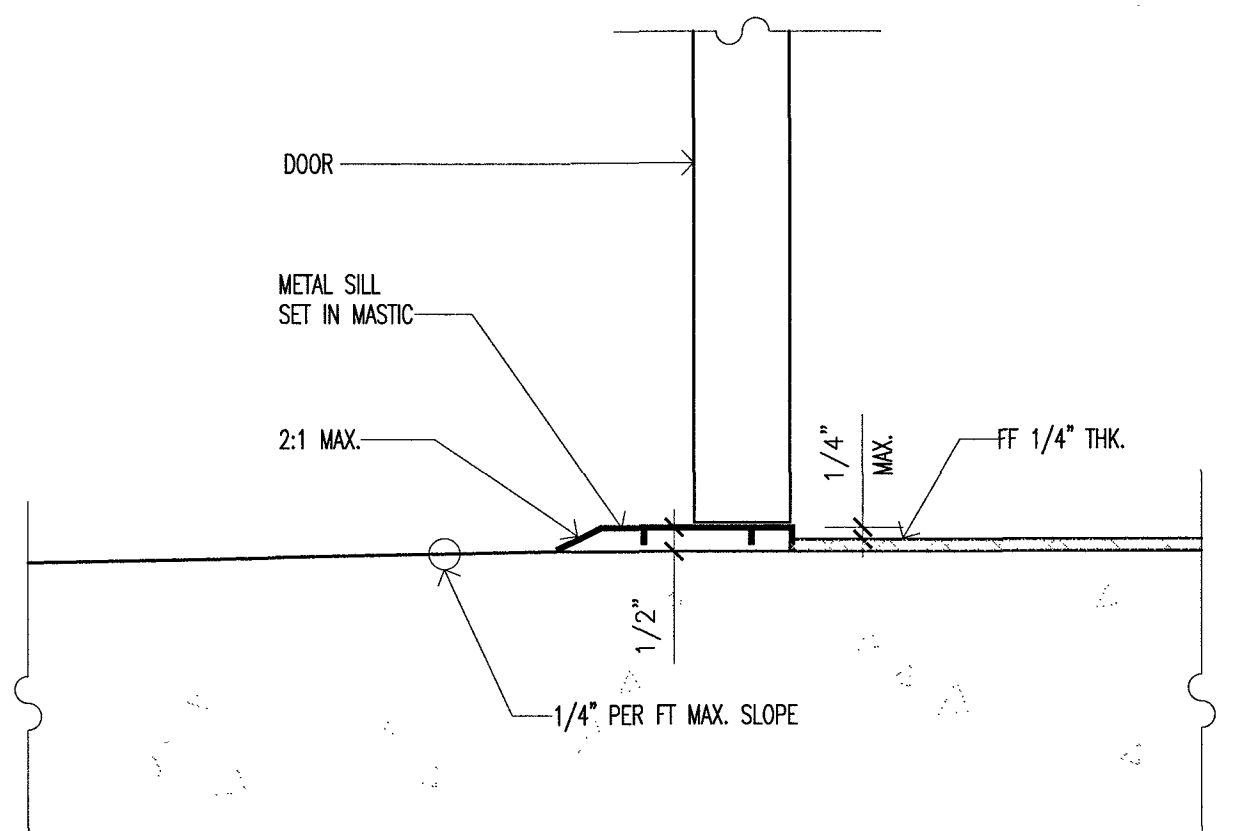
NOTES:
 1. GUARDS SHALL BE NO LESS THAN 42" HIGH. CBC 1015.3.
 2. GUARD SHALL NOT HAVE OPENINGS WHICH ALLOW A SPHERE OF 4" Ø. CBC 1015.4.

1 DETAIL AT BALCONY RAILING
 SCALE: 1"=1'-0"

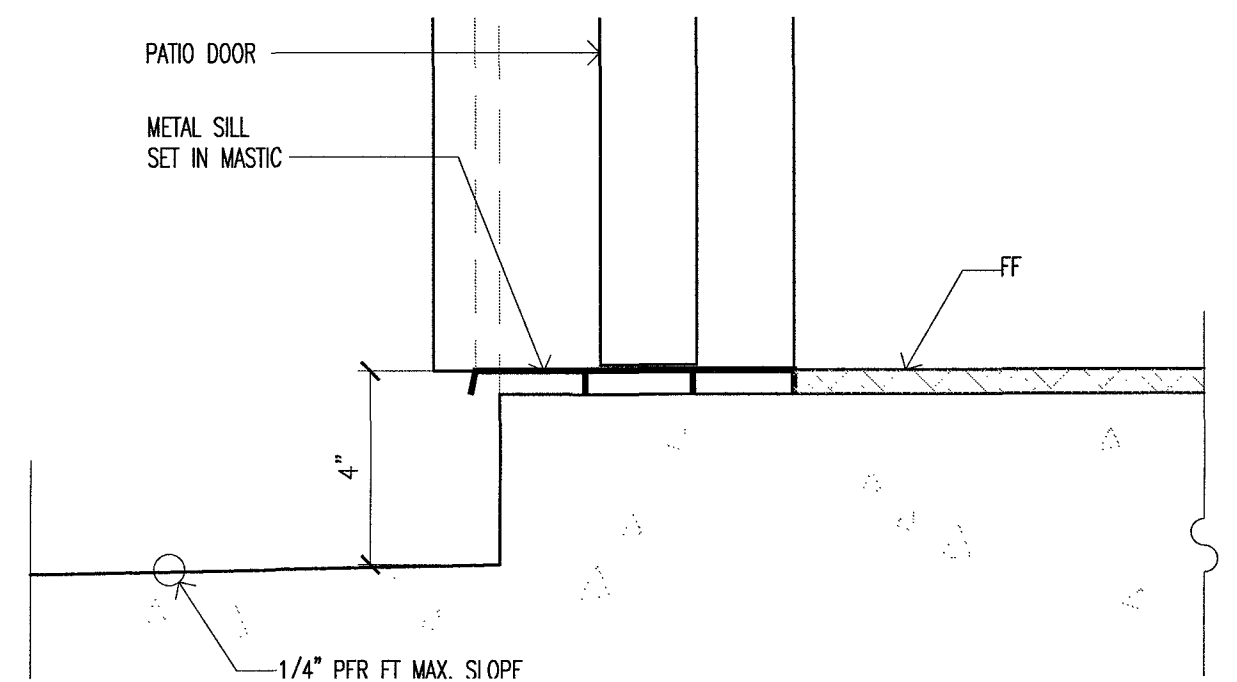


LIFE DECK SPECS?
 (UNENCLOSED BALCONY)

2 DETAIL AT BALCONY FLOOR DRAIN
 SCALE: 1"=1'-0"



3 DETAIL AT ENTRY DOOR SILL
 SCALE: 3"=1'-0"



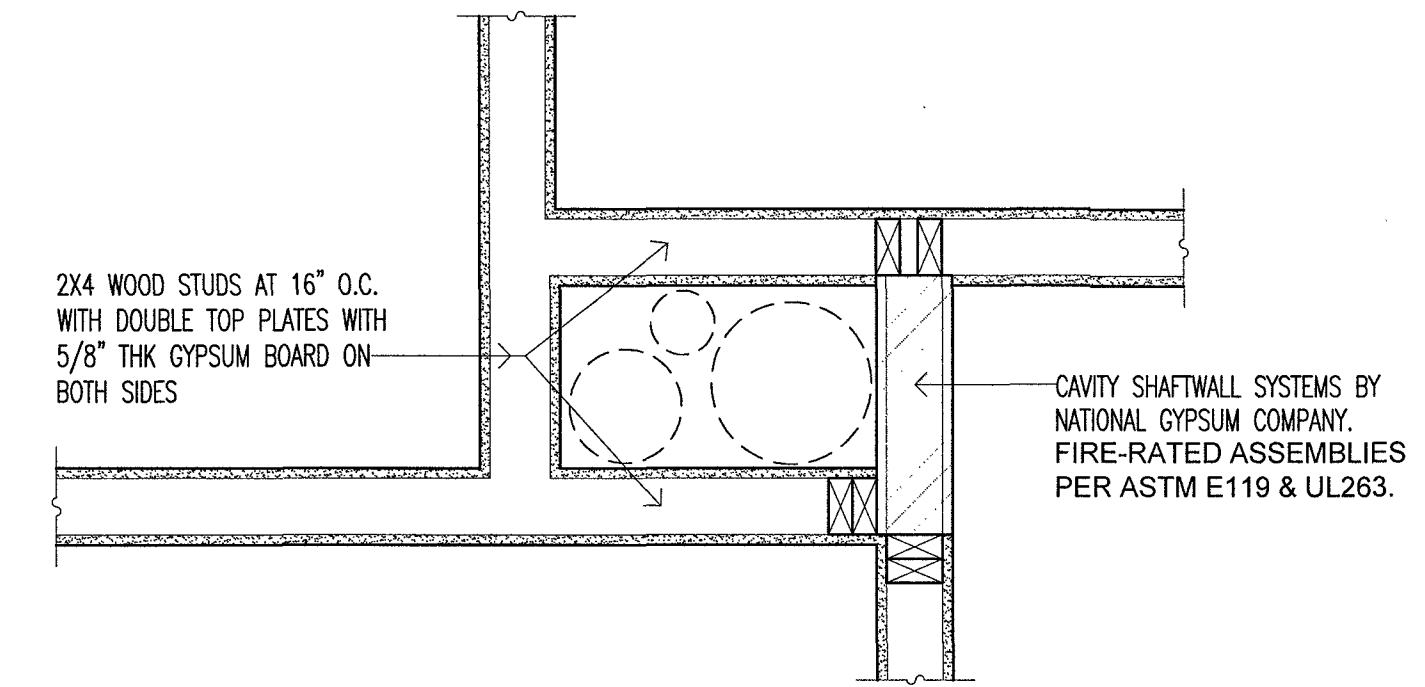
4 DETAIL AT 1 BR UNIT REAR BALCONY DOOR SILL
 SCALE: 3"=1'-0"

GENERAL NOTES

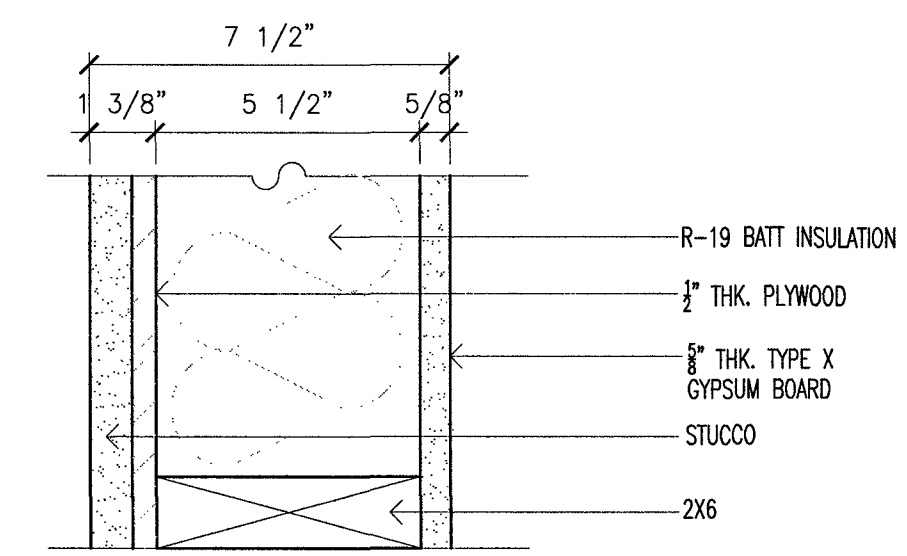
- 1) ALL WORK SHALL CONFORM TO THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE (CBC), THE CA ELECTRIC CODE (CEC), THE CA MECHANICAL CODE (CMC), THE CA PLUMBING CODE (CPC), CA TITLE-24 ENERGY CODE, AND ALL OTHER CODES, ORDINANCES AND REGULATIONS ADOPTED BY AGENCIES HAVING JURISDICTION OVER THE WORK.
- 2) THE GENERAL CONTRACTOR (G.C.), (AND ALL SUBCONTRACTORS), SHALL BE LICENSED BY THE STATE OF CALIFORNIA.
- 3) THE OWNER SHALL FILE ALL APPLICATIONS AND PAY FOR ALL NECESSARY PERMITS. THE G. C. SHALL SECURE THE CERTIFICATE OF OCCUPANCY FOR THE PROJECT.
- 4) THE G.C. SHALL COORDINATE ALL WORK WITH THE OWNER AND SHALL MEET WITH THE OWNER PRIOR TO THE START OF CONSTRUCTION. THE G.C. SHALL PRESENT REQUIRED INSURANCE CERTIFICATES TO THE OWNER PRIOR TO START OF CONSTRUCTION.
- 5) THE G.C. SHALL PROVIDE ALL NECESSARY SAFETY MEASURES TO PROTECT THE WORKERS AND OTHER PERSONS DURING CONSTRUCTION.
- 6) THE G.C. SHALL KEEP THE JOB FREE OF DEBRIS AND PERFORM A FINAL CLEANUP TO THE SATISFACTION OF THE OWNER. THE G.C. SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS FROM THE PROJECT SITE, AND SHALL PROVIDE DUMPSTERS ETC. AS REQUIRED FOR THE WORK. THE G.C. SHALL REMOVE ALL DEBRIS ON A WEEKLY BASIS.
- 7) THE G.C. SHALL PROVIDE AND MAINTAIN RATED, PORTABLE, FIRE EXTINGUISHERS ON SITE, ON ALL FLOORS, DURING CONSTRUCTION.
- 8) UNLESS INDICATED OTHERWISE, ALL MATERIAL FURNISHED AND INCORPORATED INTO THE WORK SHALL BE NEW AND OF A QUALITY STANDARD TO THE INDUSTRY FOR FIRST CLASS WORK OF SIMILAR NATURE AND CHARACTER. INSTALL ALL MATERIALS TO THE MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF THE TRADES INVOLVED.
- 9) THE G.C. SHALL FIELD VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL NOTIFY ARCHITECT OF ANY DIFFERENCES TO THOSE SHOWN ON DRAWINGS.
- 10) THE G.C. SHALL INVESTIGATE THE SITE TO VERIFY EXISTING CONDITIONS, CONCEALED CONDITIONS, AND CONNECTIONS, AND REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE ARCHITECT AND THE OWNER BEFORE CONSTRUCTION BEGINS.

ADDITIONAL NOTES:

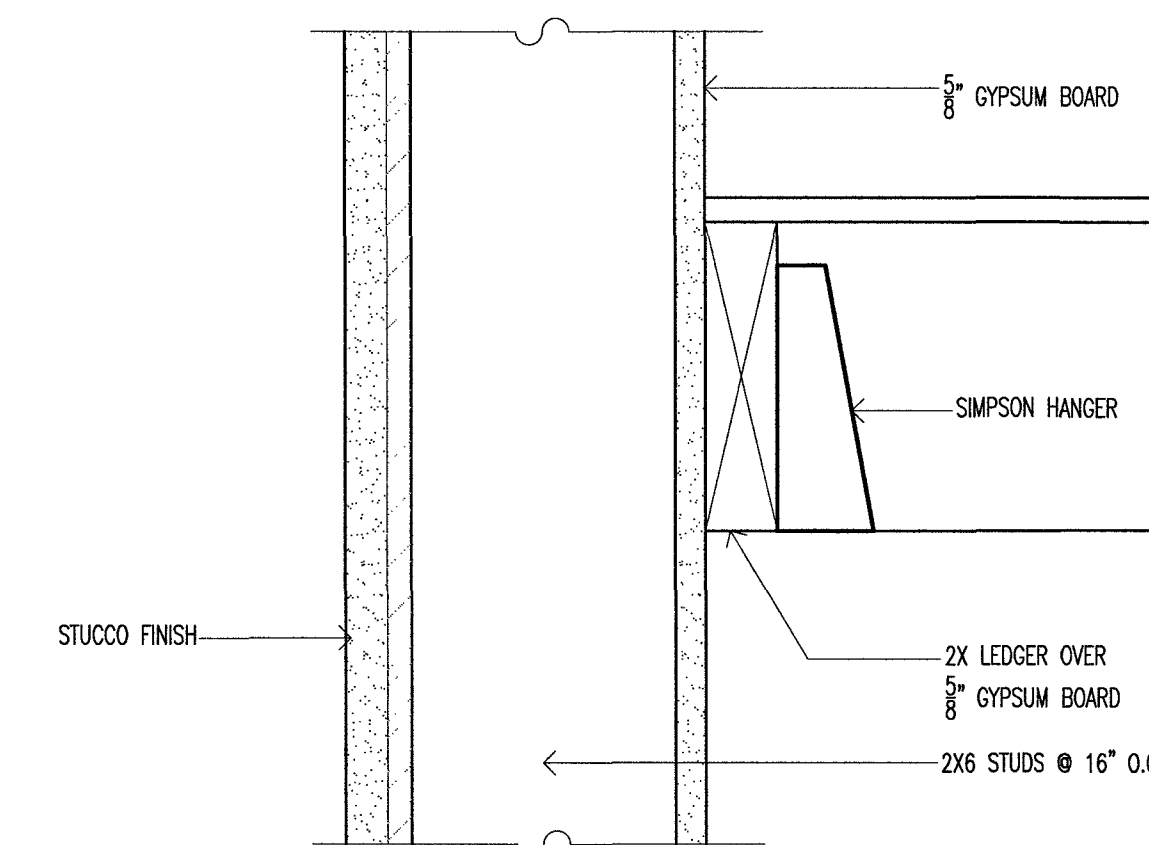
1. REFER TO "CONDITIONS OF APPROVAL" SB1 & SB1.1 FOR FURTHER INFORMATION.
2. FIRE EXTINGUISHERS SHALL BE 2-A RATED, BOX MOUNT ON FINISH SURFACES, (RECESS IN WALL WHERE POSSIBLE, SEE PLAN).
3. HAZARDOUS MATERIALS (GENERAL). THE STORAGE AND USE OF SMALL QUANTITIES OF HAZARDOUS MATERIALS IS EXPECTED DURING THE OCCUPANCY AND USE OF THE BUILDING. WHEN MATERIAL QUANTITIES EXCEED THE PERMIT AMOUNT OR MAXIMUM ALLOWABLE QUANTITIES (MAQ) OF HAZARDOUS MATERIALS DESCRIBED IN THE CFC ADDITIONAL LIFE SAFETY AND FIRE PROTECTION FEATURES MAY BE REQUIRED.
4. ADVISORY: DURING THE CONSTRUCTION PHASE, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL NOT BE CONCEALED UNTIL INSPECTED AND APPROVED. (CBC 110.3.8.1.)



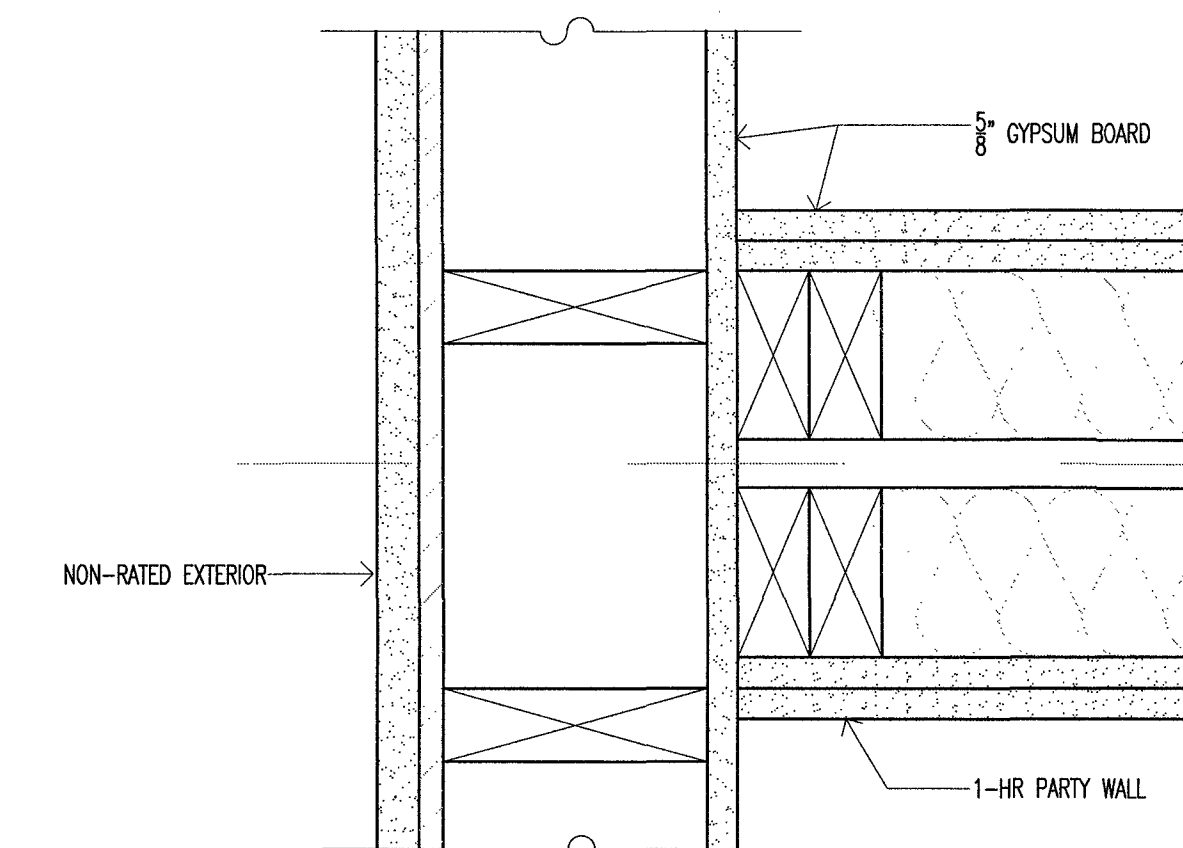
5 DETAIL AT SHAFT
 SCALE: 1"=1'-0"



6 DETAIL AT EXTERIOR WALL
 SCALE: 3"=1'-0"



7 CONNECTION TO EXT. WALL (FIRE BARRIER CONTINUITY)
 SCALE: 3"=1'-0"



8 1-HR PARTY WALL AT EXTERIOR NON-RATED WALL
 SCALE: 3"=1'-0"

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Notes
 &
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Date: 05-19-2020

Scale: As Shown

Sheet Number:

A1.1

PLAN CHECK SET